



L MAUERMANN,
 Architect,
 SANDHURST.

General Conditions of Contract

FOR

*Alteration and addition of a mansard story
 to the private residence of Geo. Darrell Esq.
 Sandhurst.*

Referred to in a Contract dated the _____ day of _____
 One thousand eight hundred and _____ and made between _____
 _____ of the one part, and _____
 _____ of the other part.

1. The whole of the works required by the accompanying drawings and specifications are to be executed in the most substantial and workmanlike manner, with materials of the best quality of their several kinds, and to the entire satisfaction of the Architect.
2. Should any materials or workmanship which, in the opinion of the Architect, is of an inferior or different character to that described in the specification be at any time used in any part of the building, or be delivered upon the premises, the Contractor shall immediately cause the same to be removed; and, if upon the Architect giving a written notice to the Contractor to effect any such removal, the same be not carried out within the time mentioned in the notice, the Proprietor shall be at liberty to employ other persons to effect such removal, and all such expenses, loss, or damage, as in the opinion of the Architect may have been occasioned thereby, shall be borne by the Contractor, and the amount thereof paid by him, or deducted by the Proprietor from any money that may be or become due to the Contractor on account of this contract.
3. All plant and materials brought upon the premises by the Contractor shall from the time of which they or any of them may be so brought, and during and until the completion of the works, become and be the property of the Proprietor, and the Contractor shall not be entitled to remove the same without the written consent of the Architect until the completion of the works.
4. All labour, scaffolding, boarding, machinery, implements, tools, and materials necessary for the completion of the works to be provided by the Contractor at his own expense, unless where distinctly specified to the contrary, and the consideration money mentioned in the contract shall (subject to these general conditions) be deemed to be the contract price, and shall be accepted by the Contractor in full satisfaction and discharge for all work done under this contract.
5. Should there be any variance between the drawings and the specification, the Architect may use either to interpret the other, and the work shall be executed in accordance with such interpretation, without any additional charge to the Proprietor, and should there be any doubts as to the intended manner of executing any part of the works, the Contractor shall be held to have calculated for the work being done in the best manner, and shall perform the same in such manner and of such materials as the Architect may direct. The contract price is to be taken to include everything which in the opinion of the Architect is necessary for the thorough completion and stability of the works.
6. The Contractor shall clear away from the premises, when so desired by the Architect, all materials, plant, tools, or rubbish which is not hereon, or which shall be thereon during or after the completion of the works.

Best materials to be used

Removal of objectionable materials or work.

All materials and plant brought upon the premises to become the property of the Proprietor.

Materials, labour, and tools to be provided by Contractor unless otherwise specified.

Discrepancies between drawings and specifications.

Clearing away of rubbish &c.

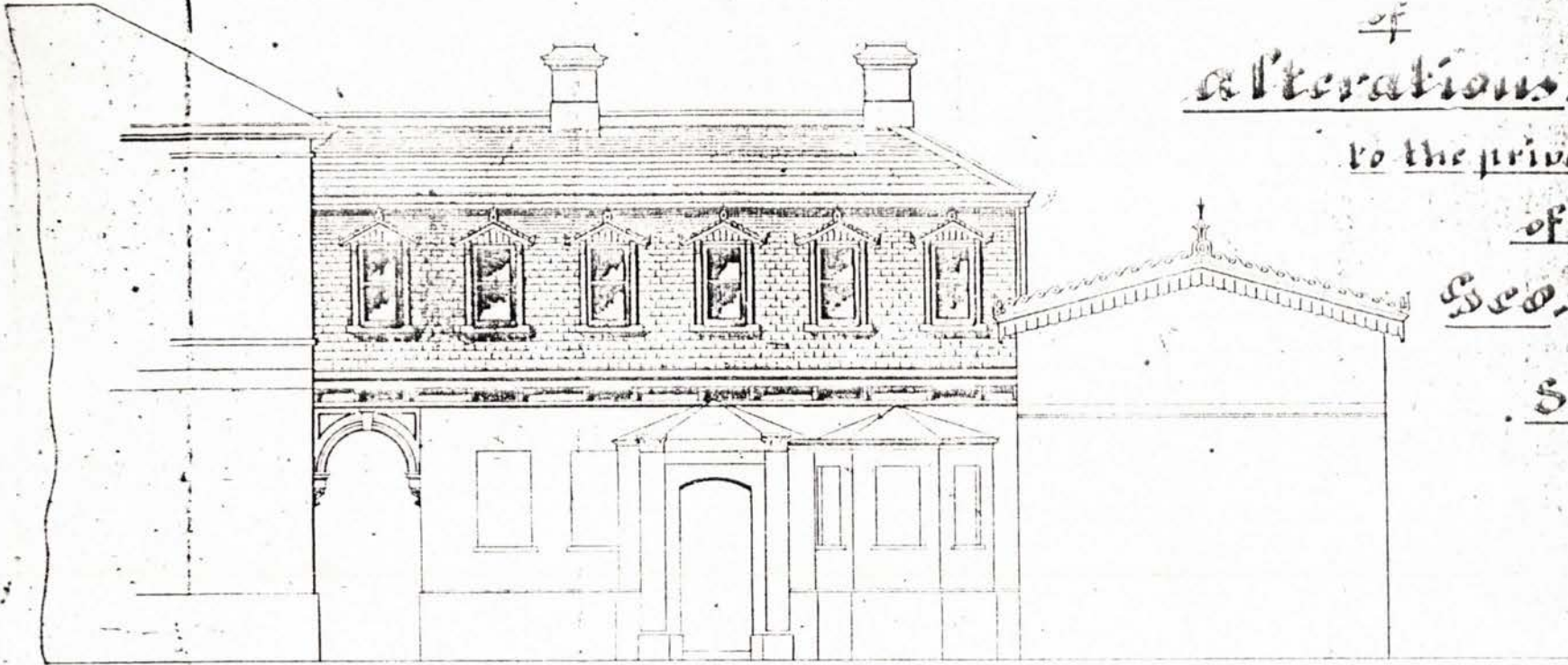
Plan
of
alterations & additions

to the private-residence

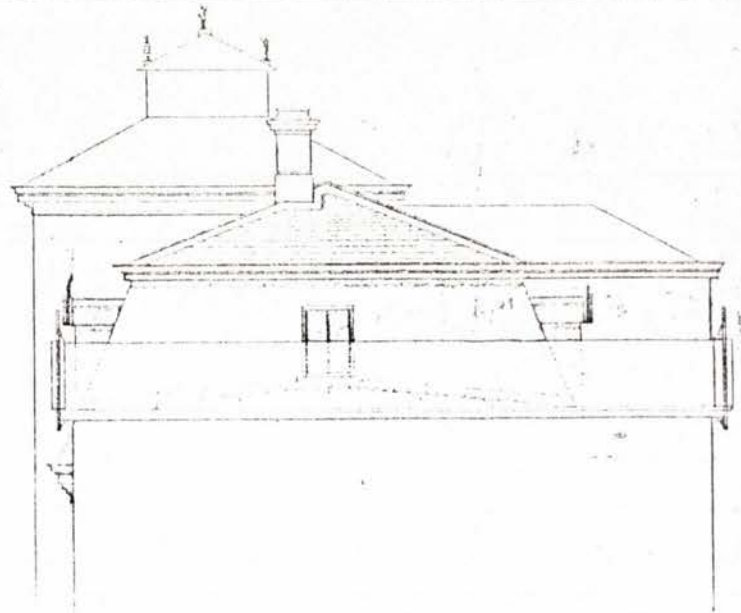
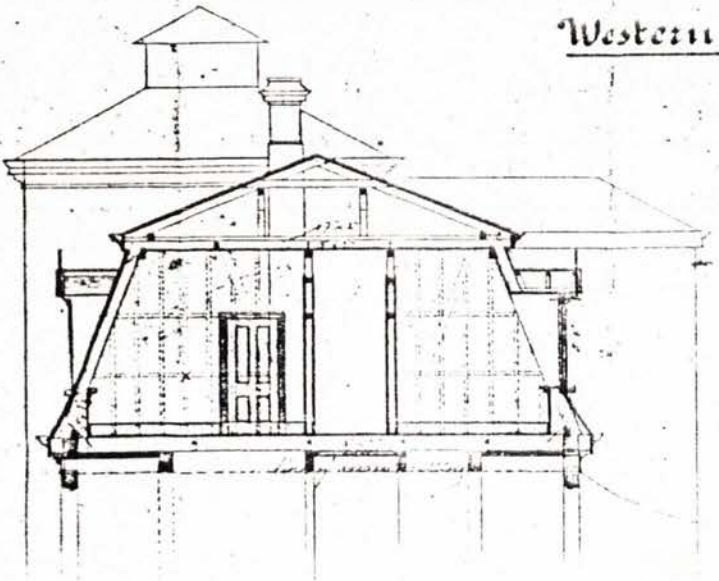
of

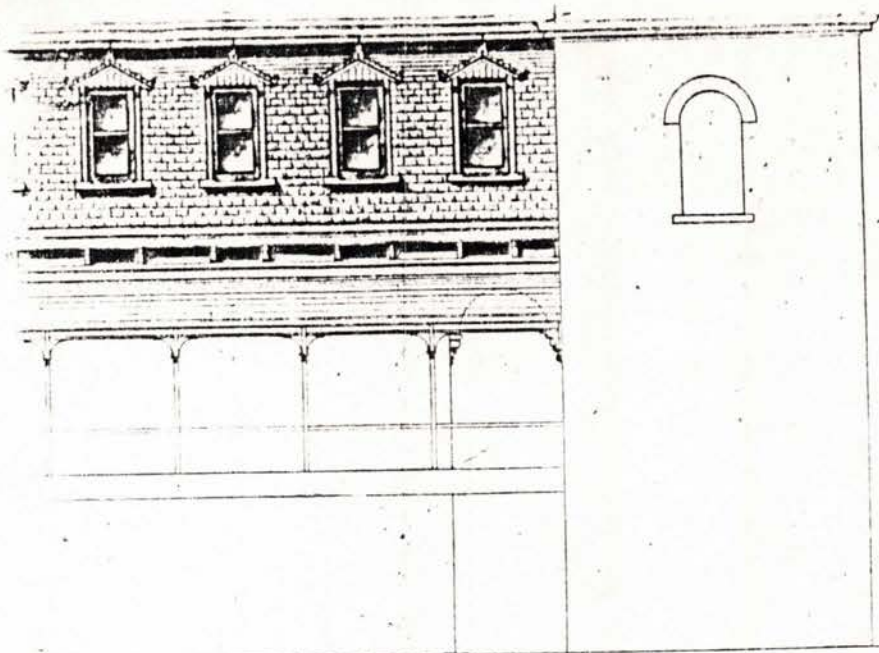
Geo. Cassell Esq.

Sandhurst.

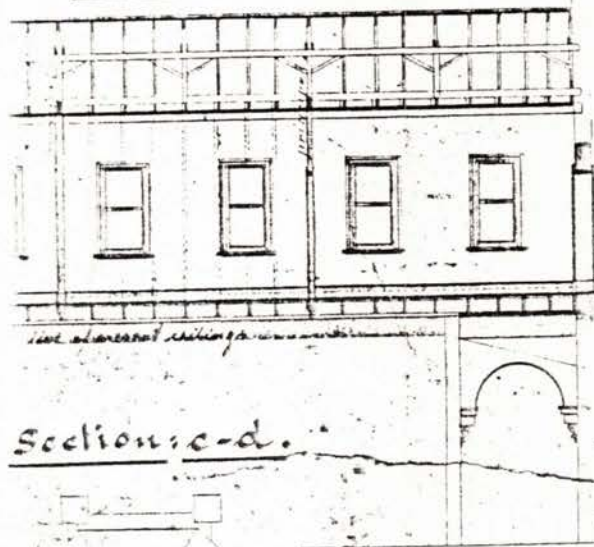


Western Elevation.

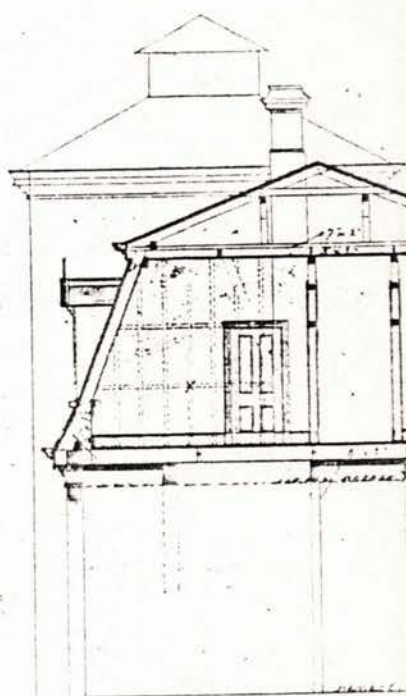




Eastern Elevation.

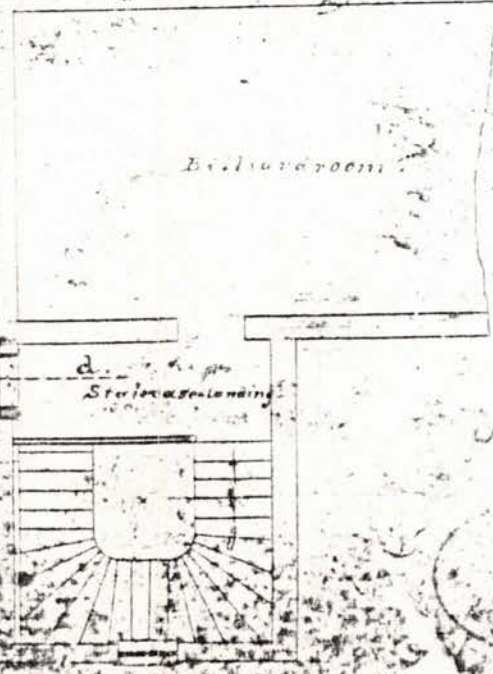
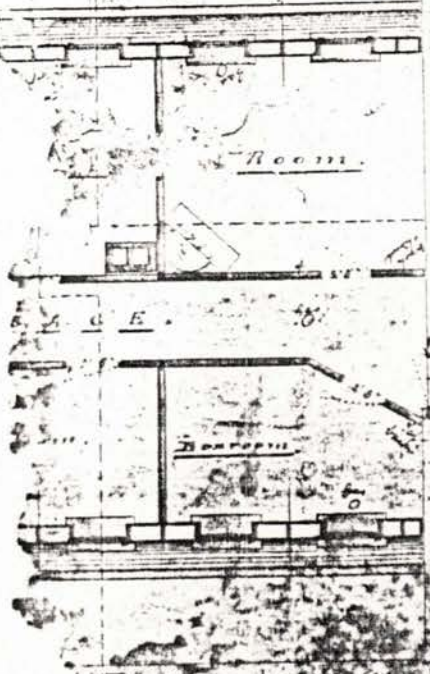


Section c-d.

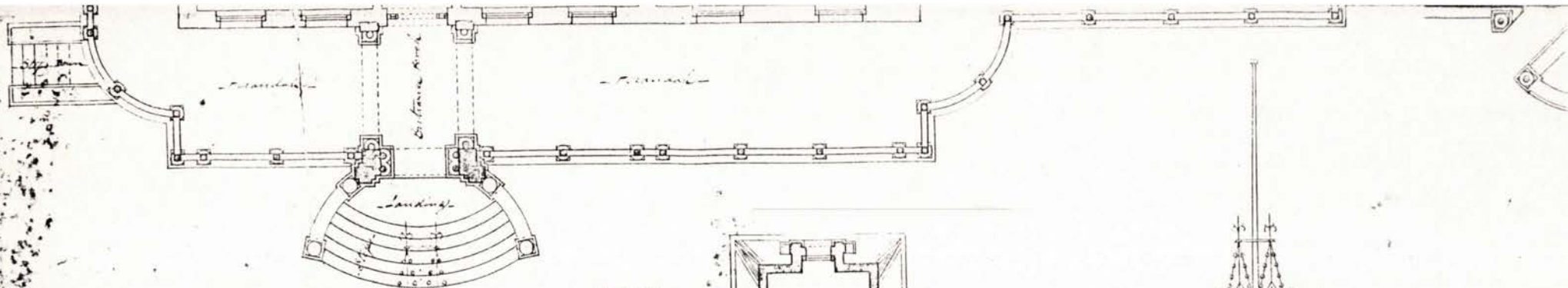


Section

*Some of the windows
 are on the side facing
 the ground
 The door opening*

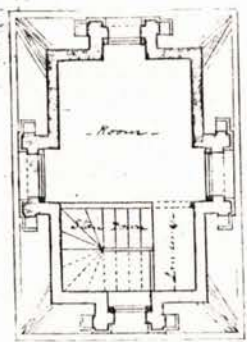


Scale: 1/2 inch to one foot.

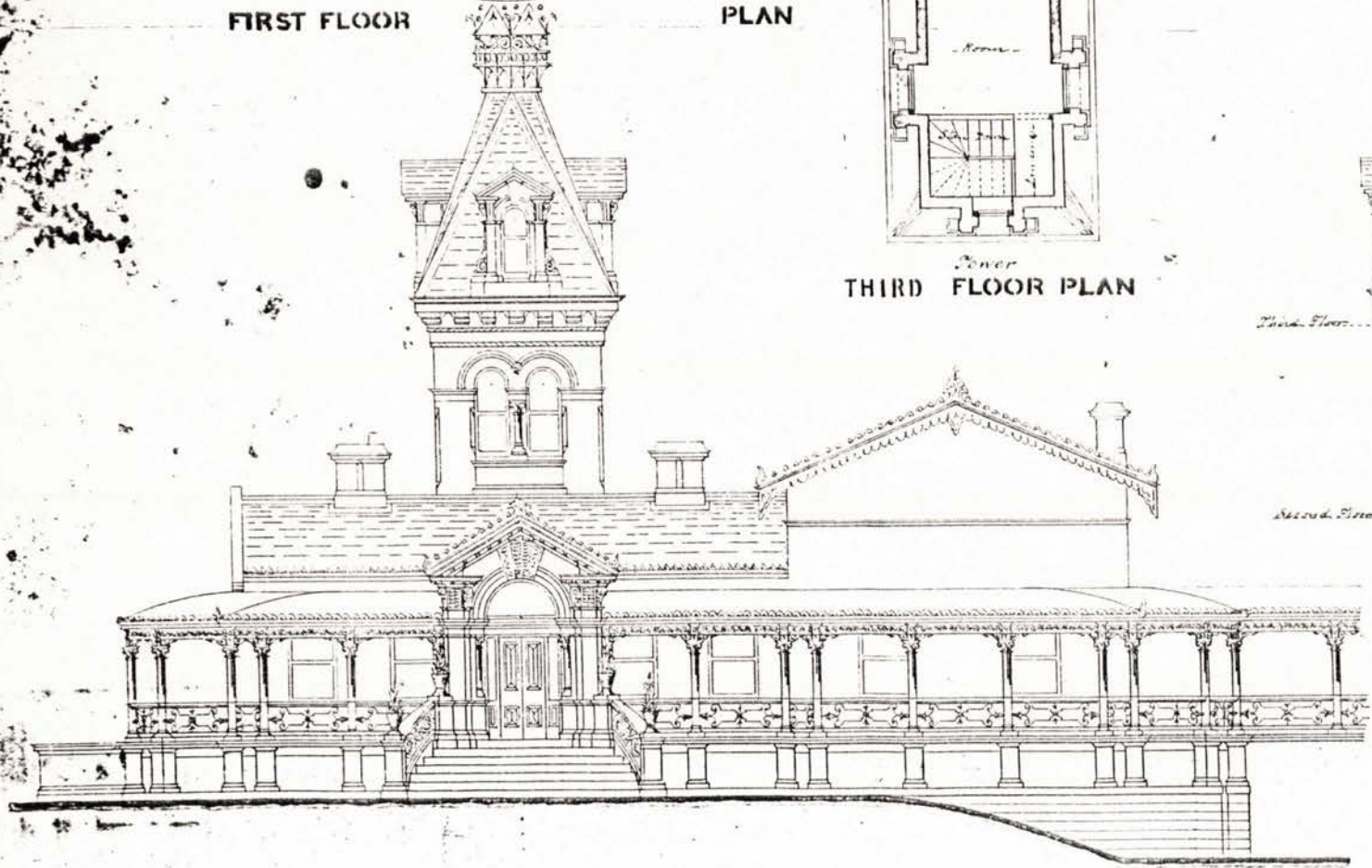


FIRST FLOOR

PLAN



THIRD FLOOR PLAN



ENTRANCE ELEVATION

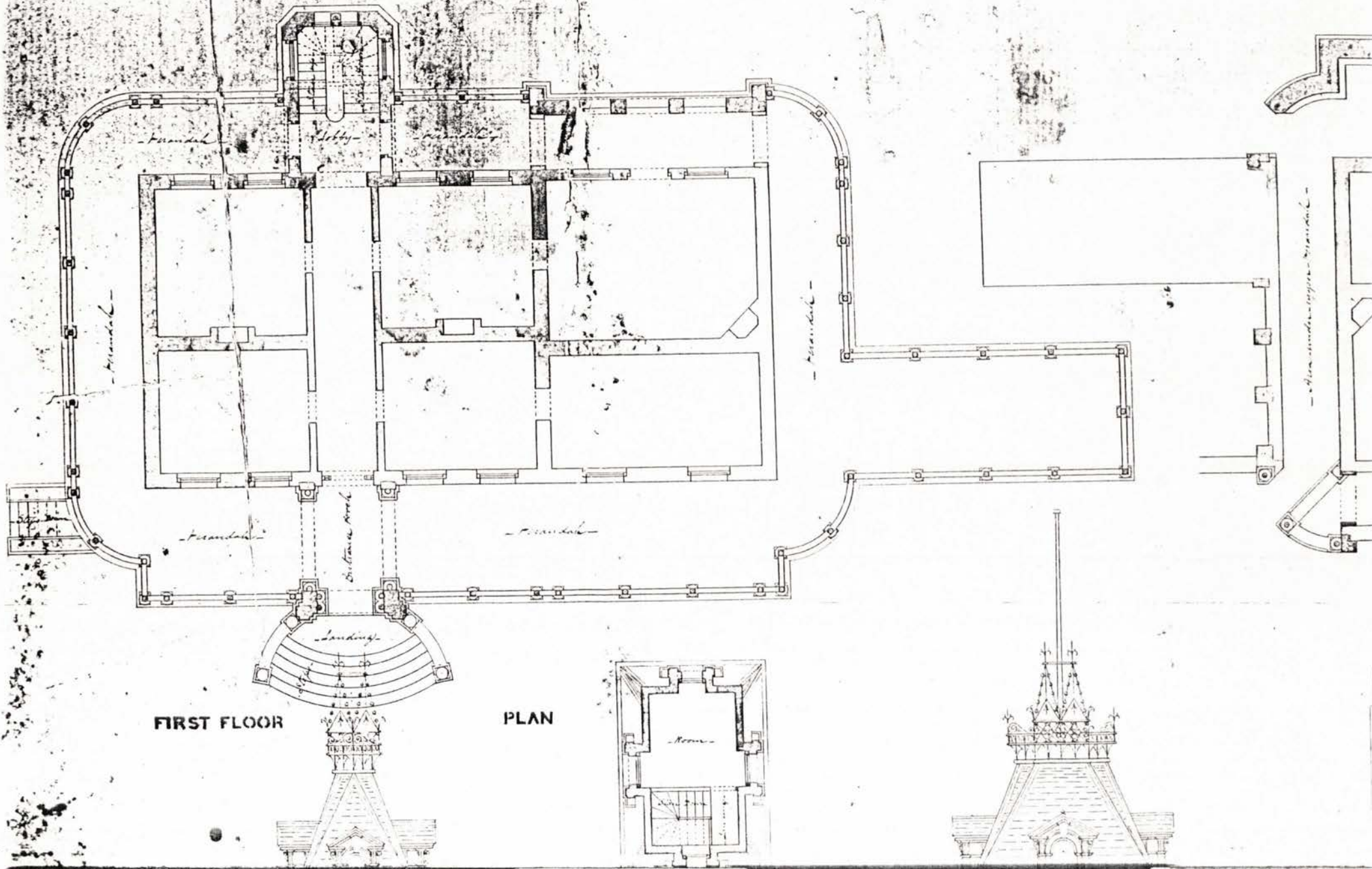


SECTION ON LINE XX

S

ADDITIONS TO FORTUNA VILLA FOR GEO LANSELL ESQ

SCALE 8 FEET TO ONE INCH

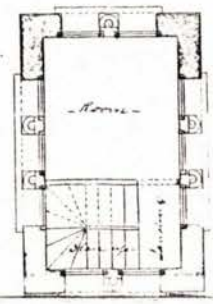
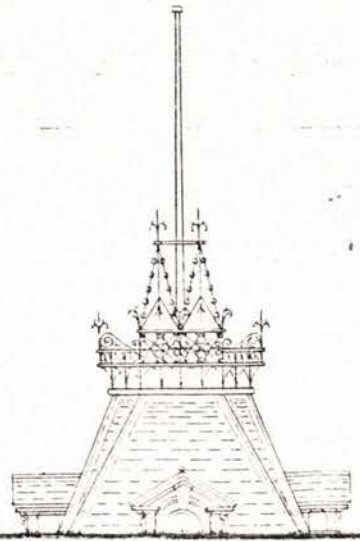
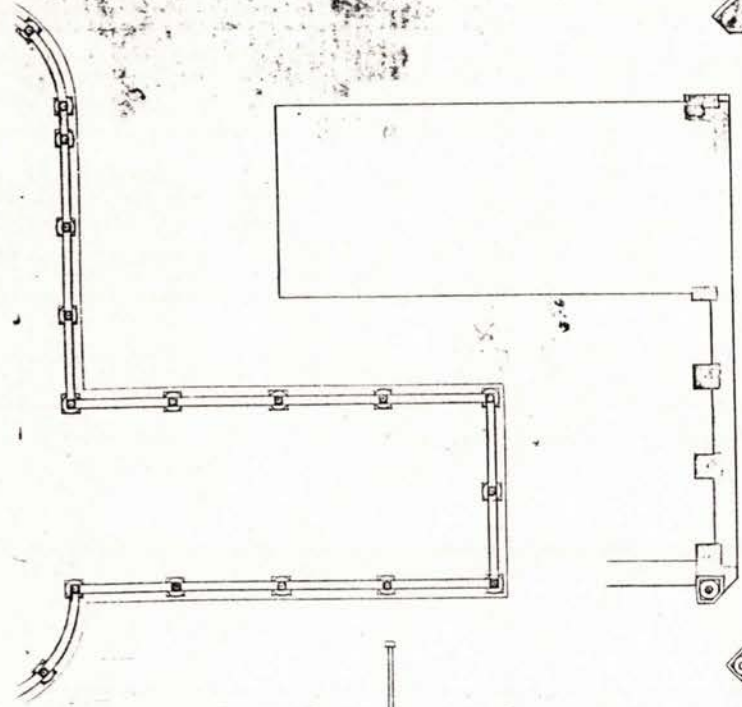
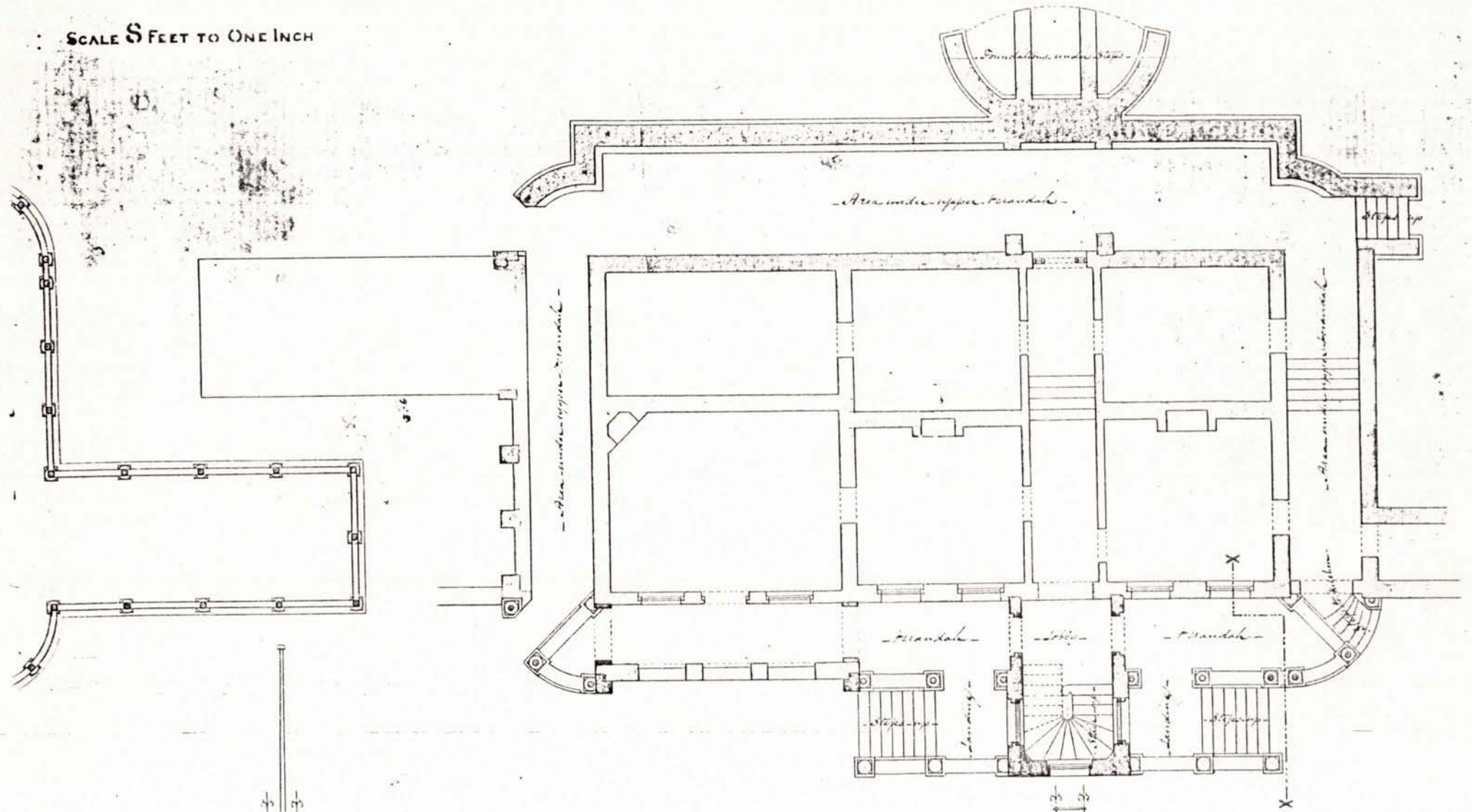


FIRST FLOOR

PLAN

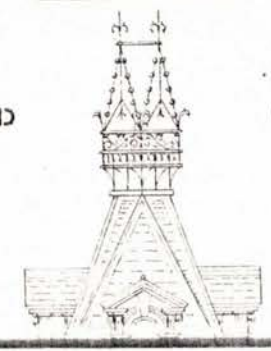
PLAN FOR CE^O LANSELL ESQ

SCALE 8 FEET TO ONE INCH

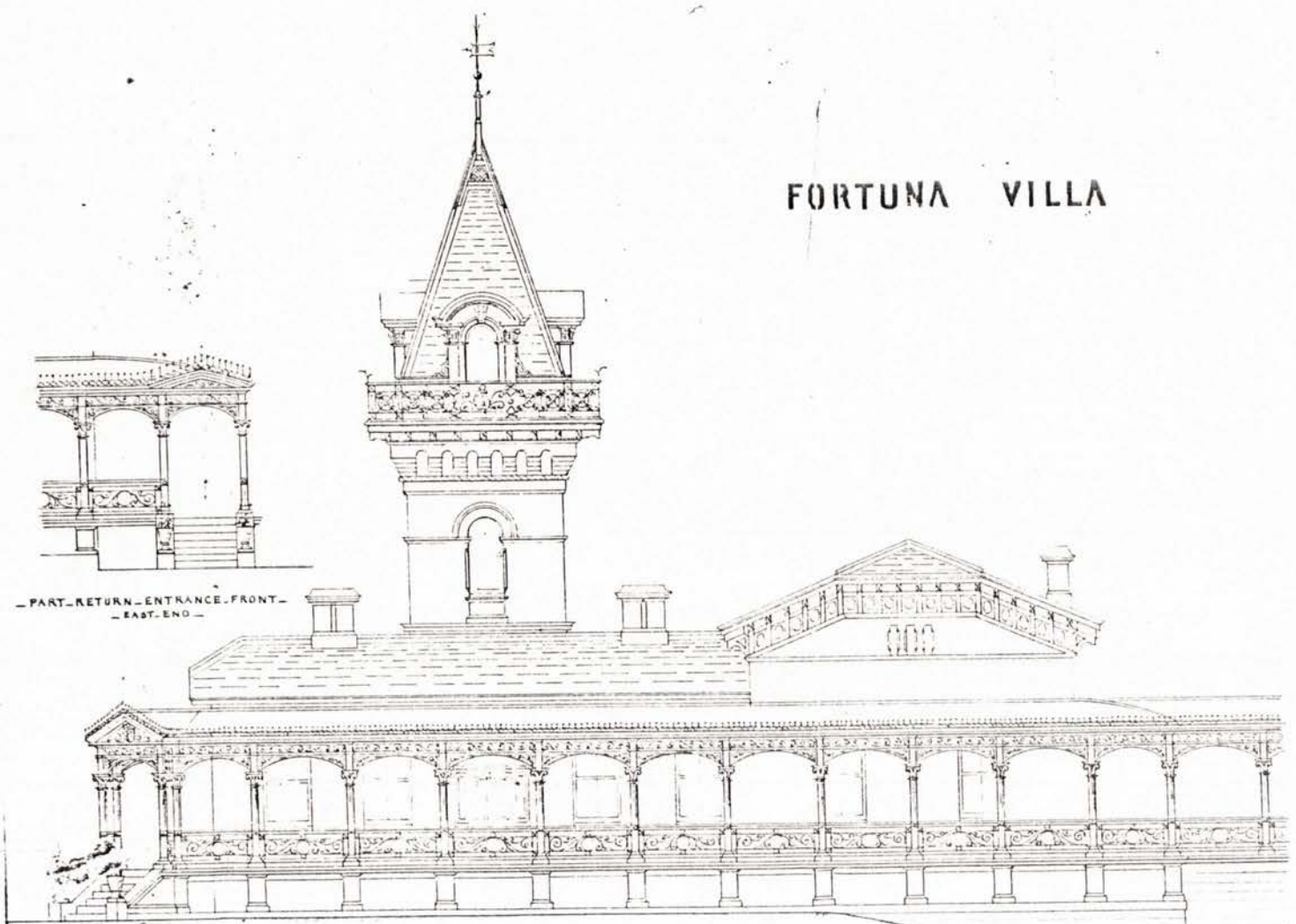


GROUND

PLAN

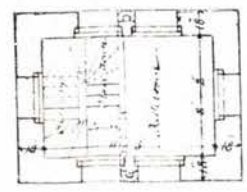


FORTUNA VILLA

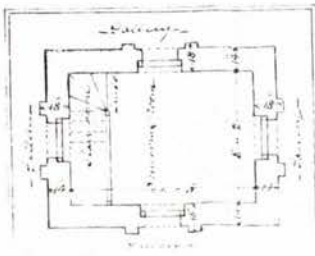


PART RETURN ENTRANCE FRONT
EAST END

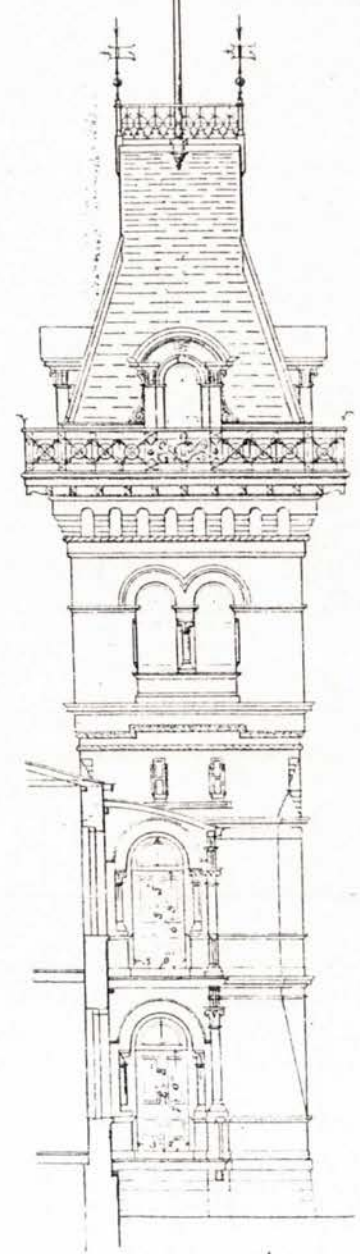
ENTRANCE ELEVATION



FIRST FLOOR



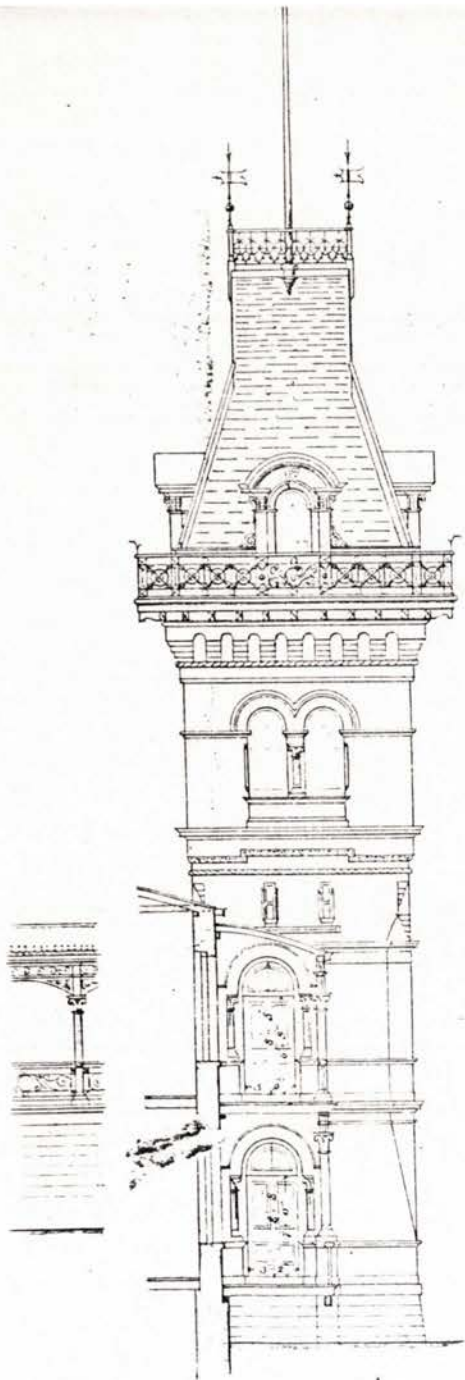
SECOND FLOOR



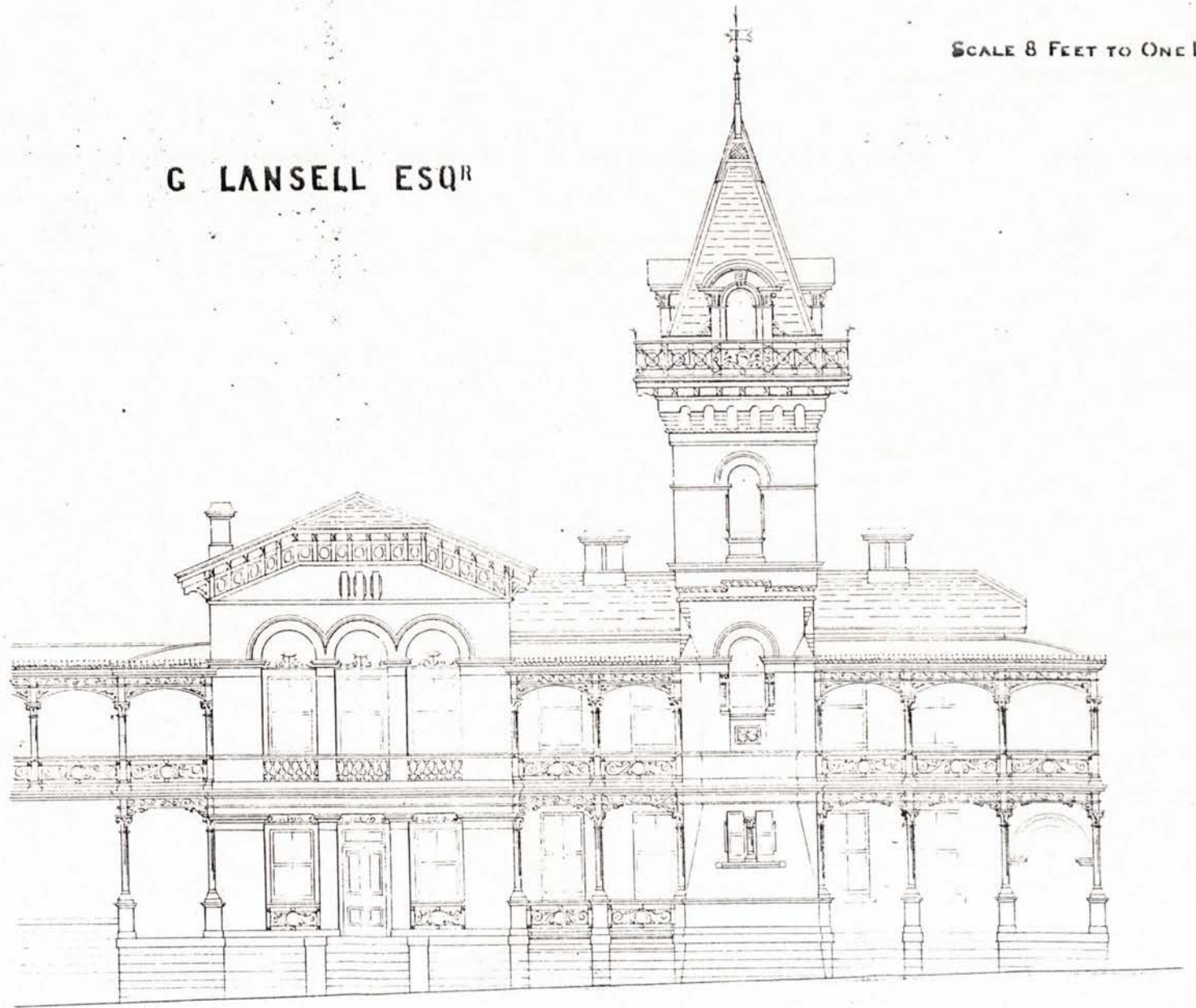
SECTION ON LINE BB

SCALE 8 FEET TO ONE INCH

G LANSELL ESQR



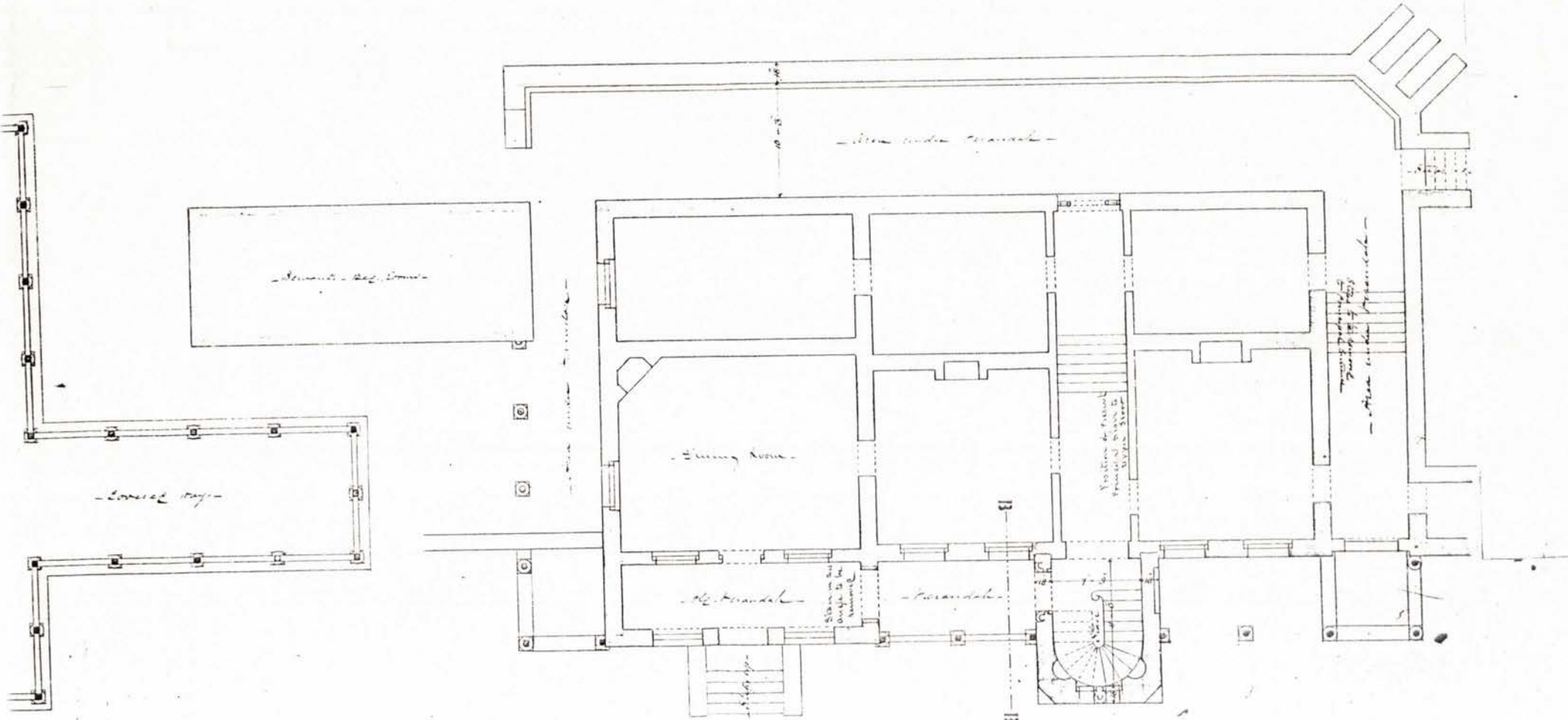
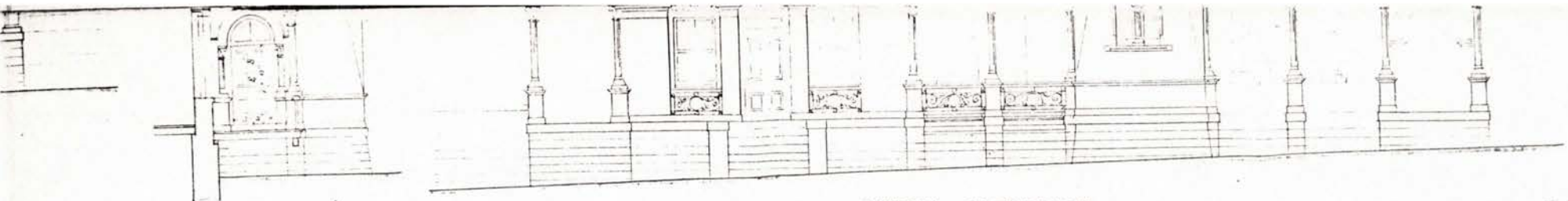
SECTION ON LINE BB



GARDEN ELEVATION

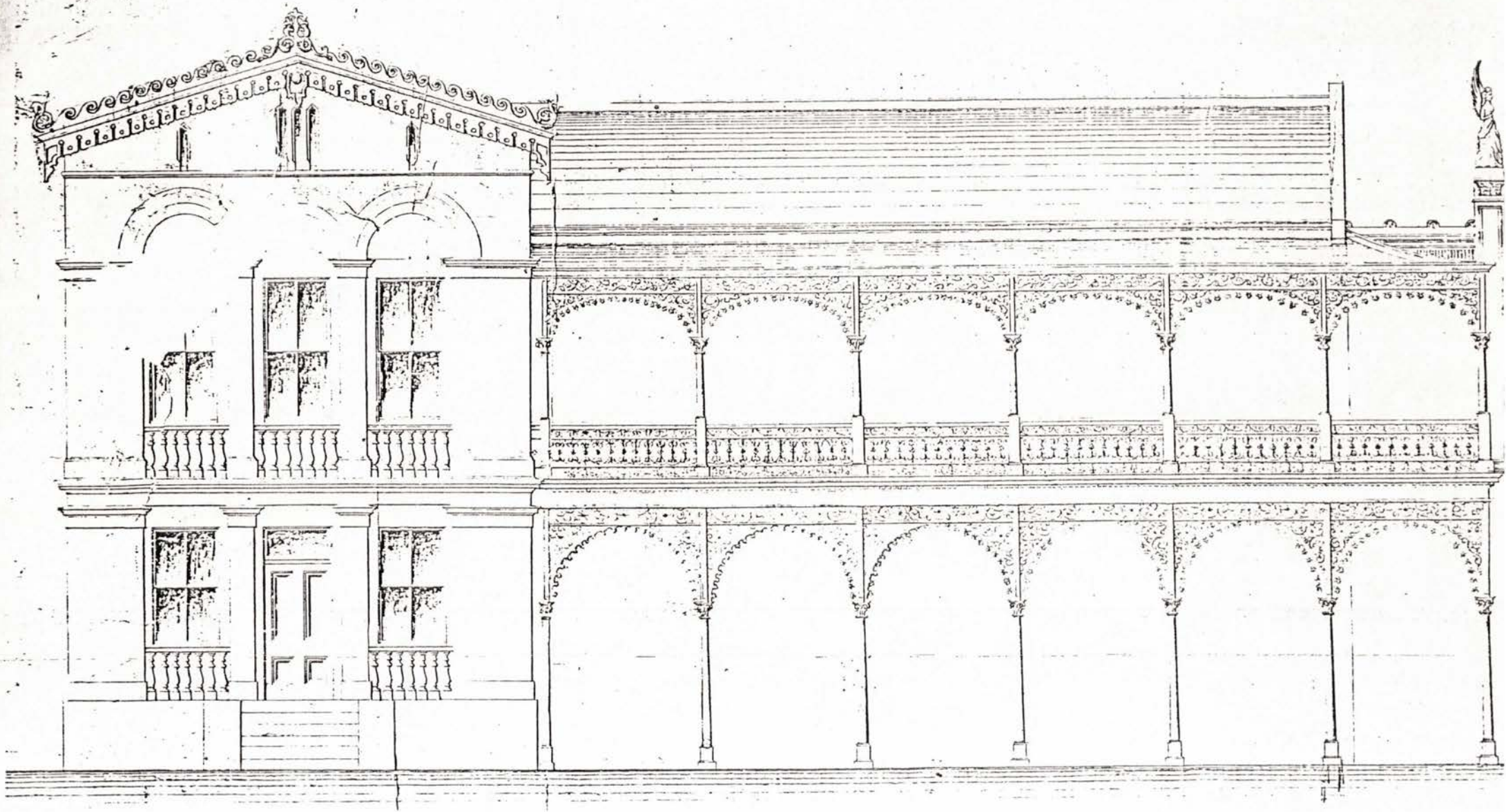
SECTION ON LINE BB

CARDEN ELEVATION

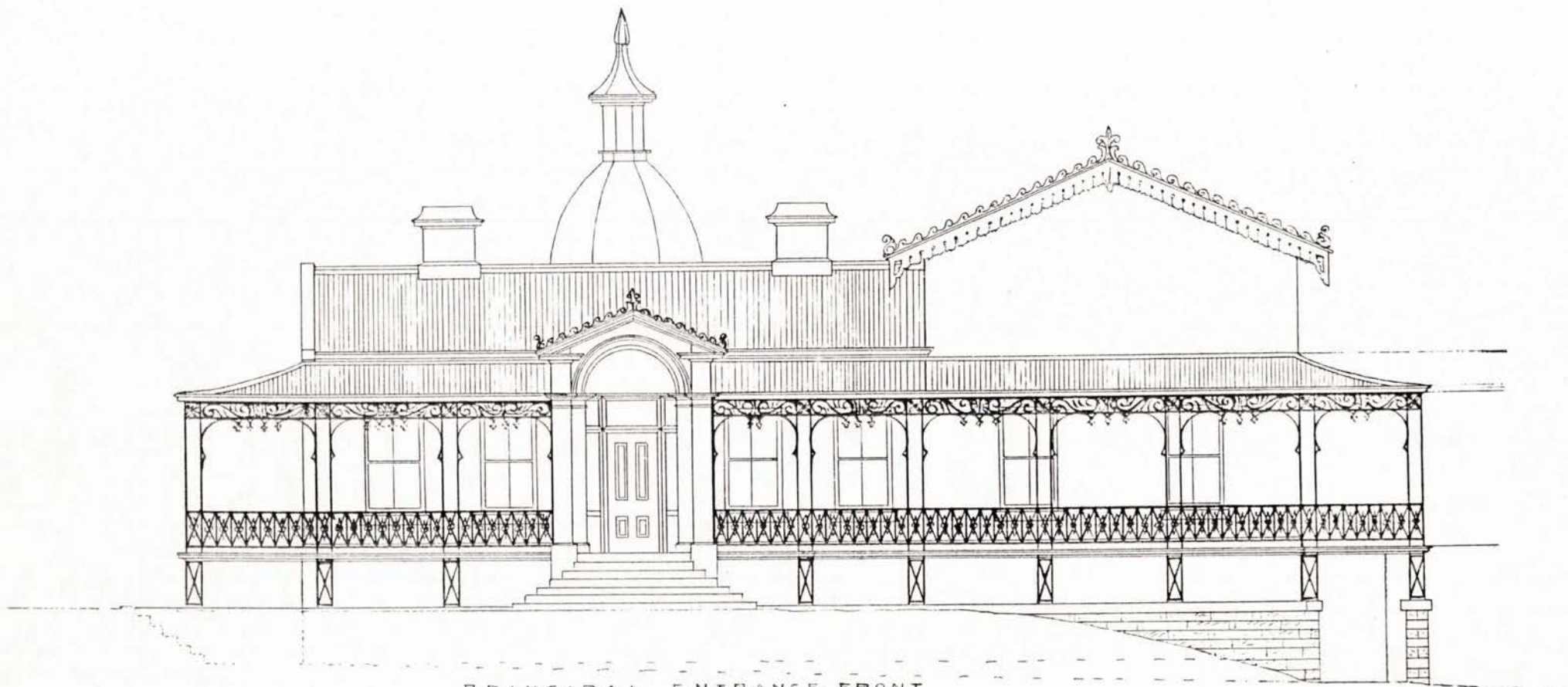


GROUND PLAN

11



Front Elevation



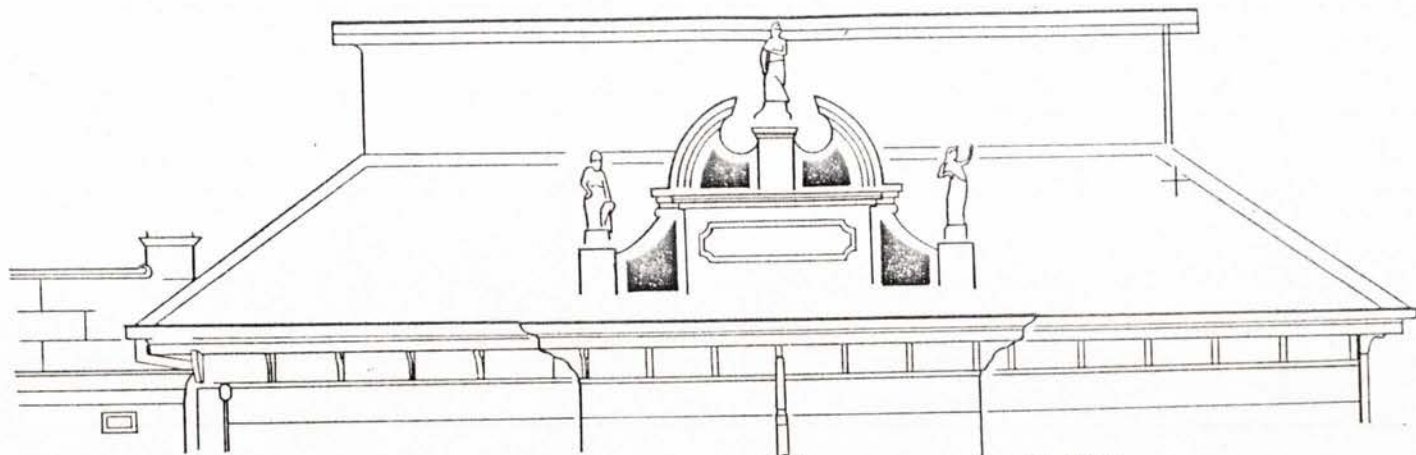
PRINCIPAL ENTRANCE FRONT
FORTUNA-VILLA.

SANDHURST

G. LANSELL ESQ.

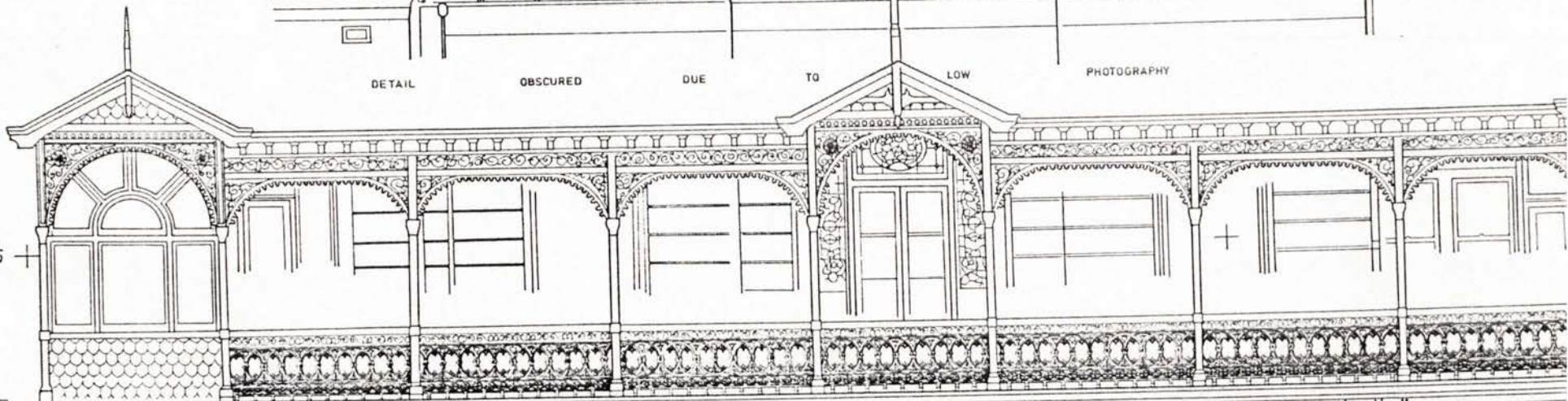
Proprietor

270 +

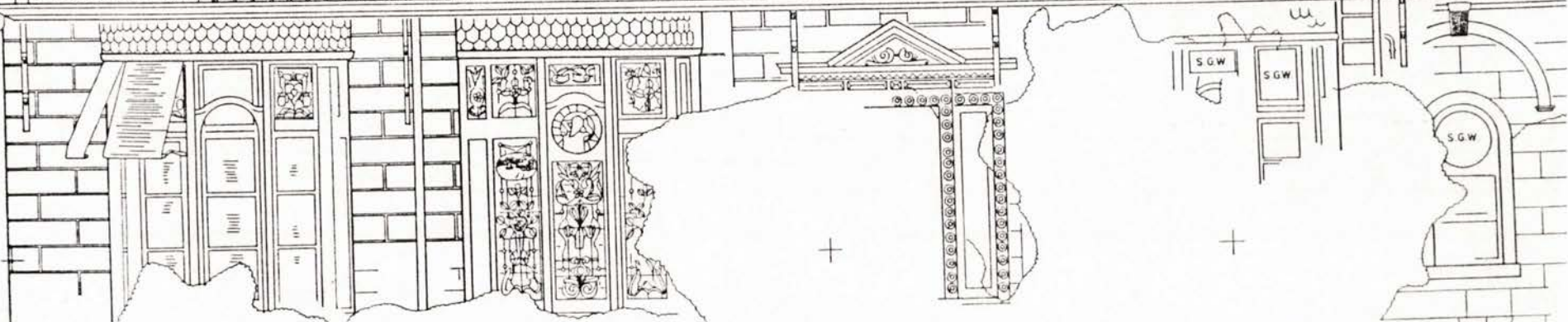
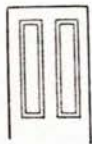


DETAIL OBSCURED DUE TO LOW PHOTOGRAPHY

265 +



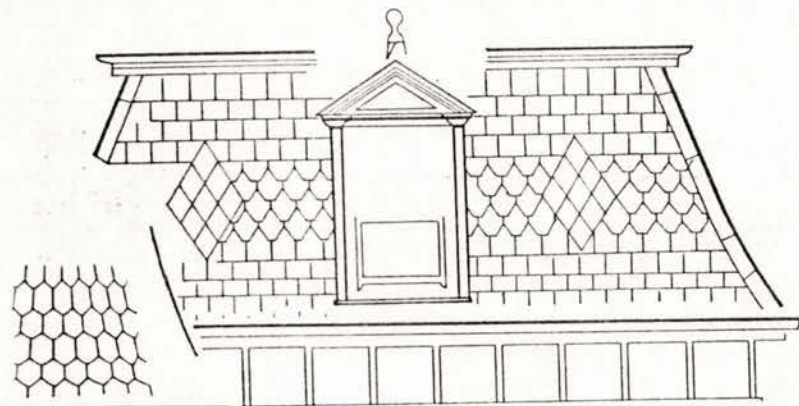
260



TREES

AND

SHRUBS



DETAIL



OBSCURED



DUE



TO

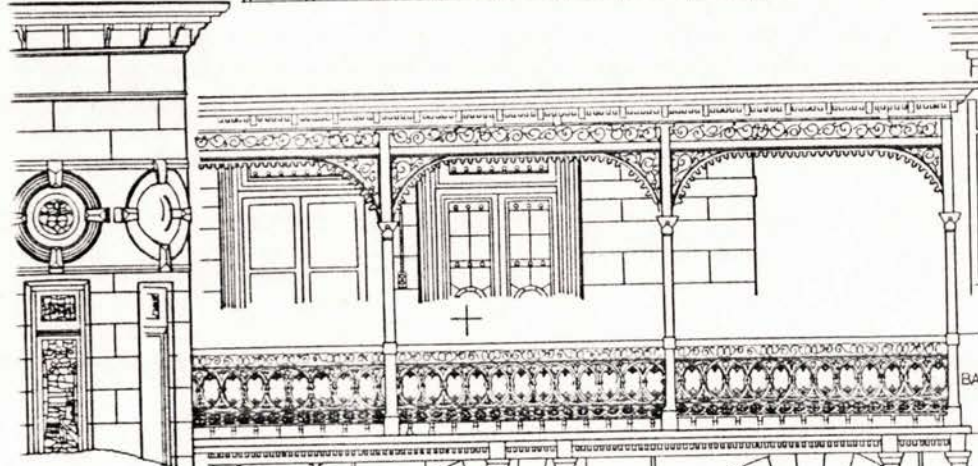


LOW

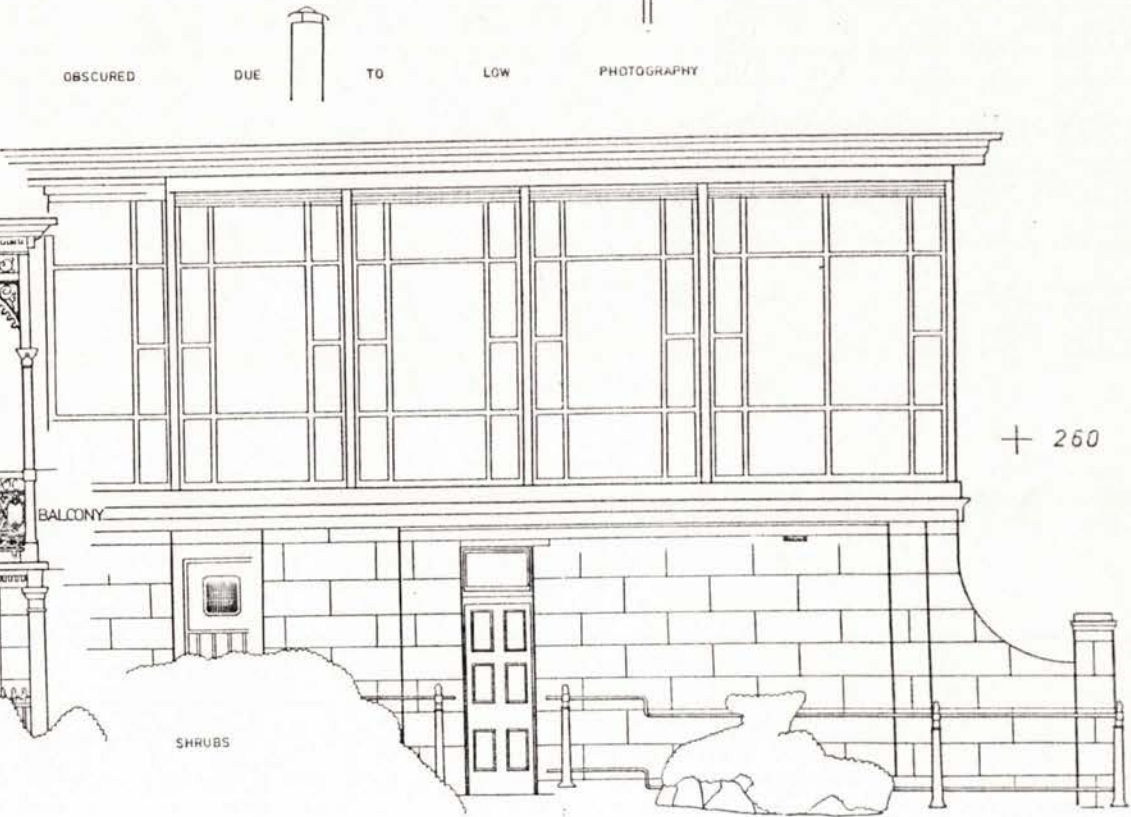


PHOTOGRAPHY

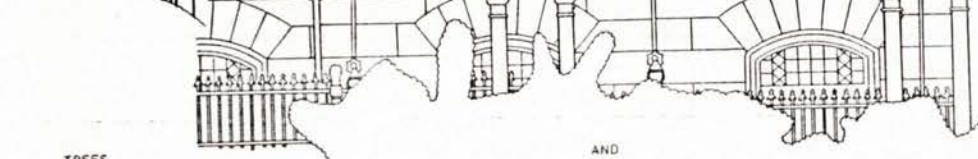
+ 265



BALCONY



+ 260



TREES

AND

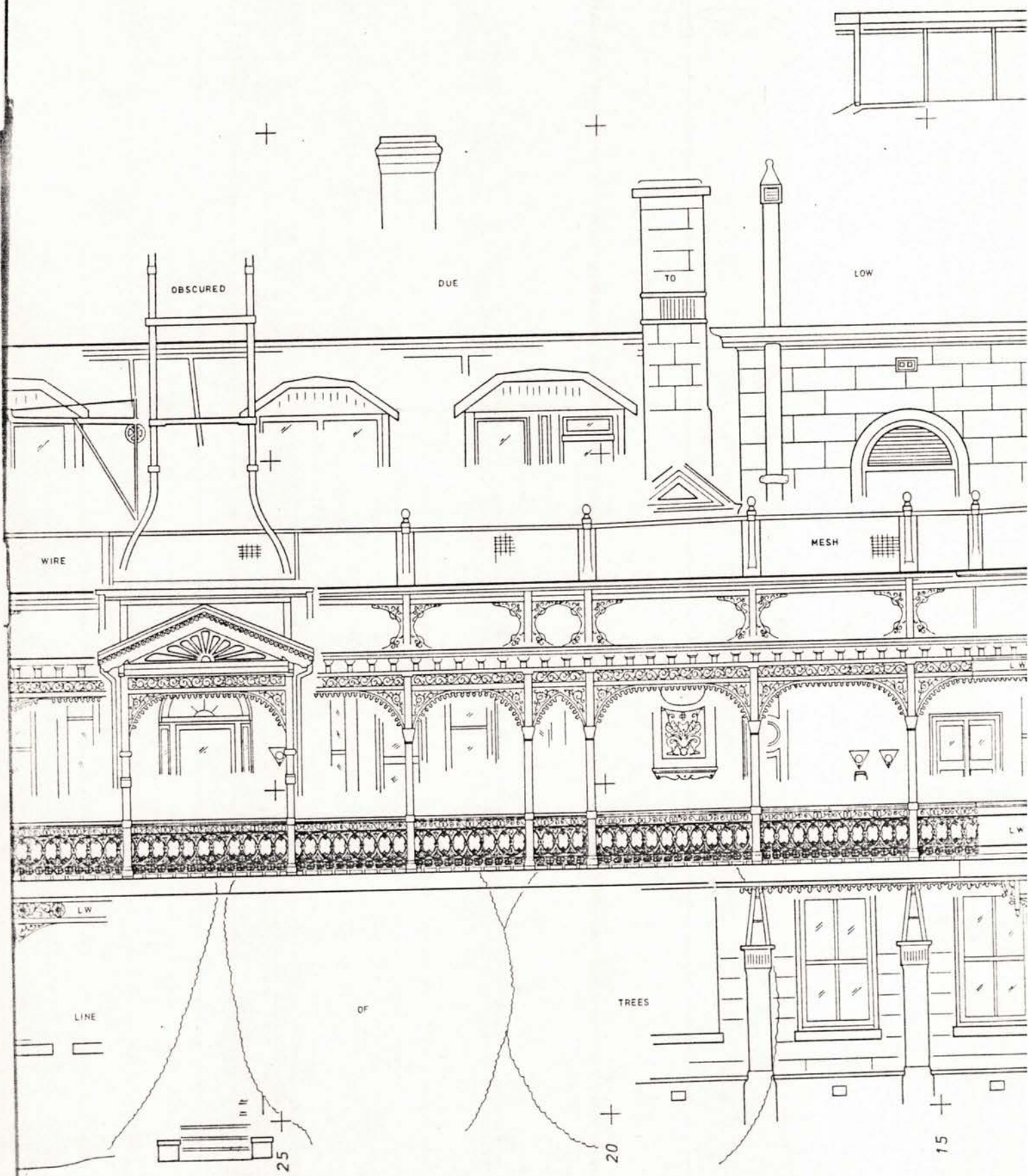
SHRUBS

20 +

15 +

10 +

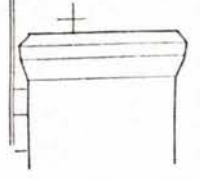
+ 255
5



FACADE 8

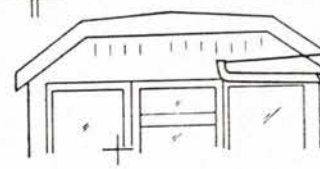
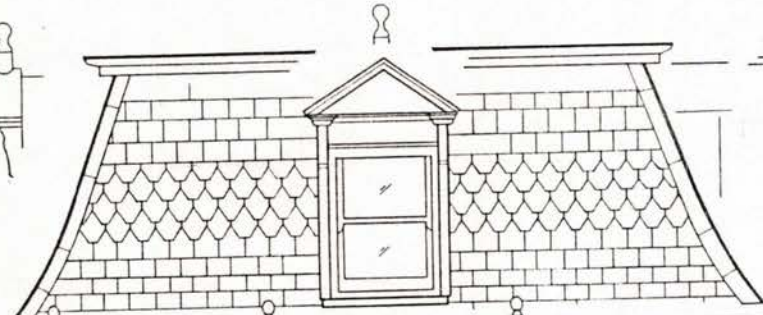
270 +

+



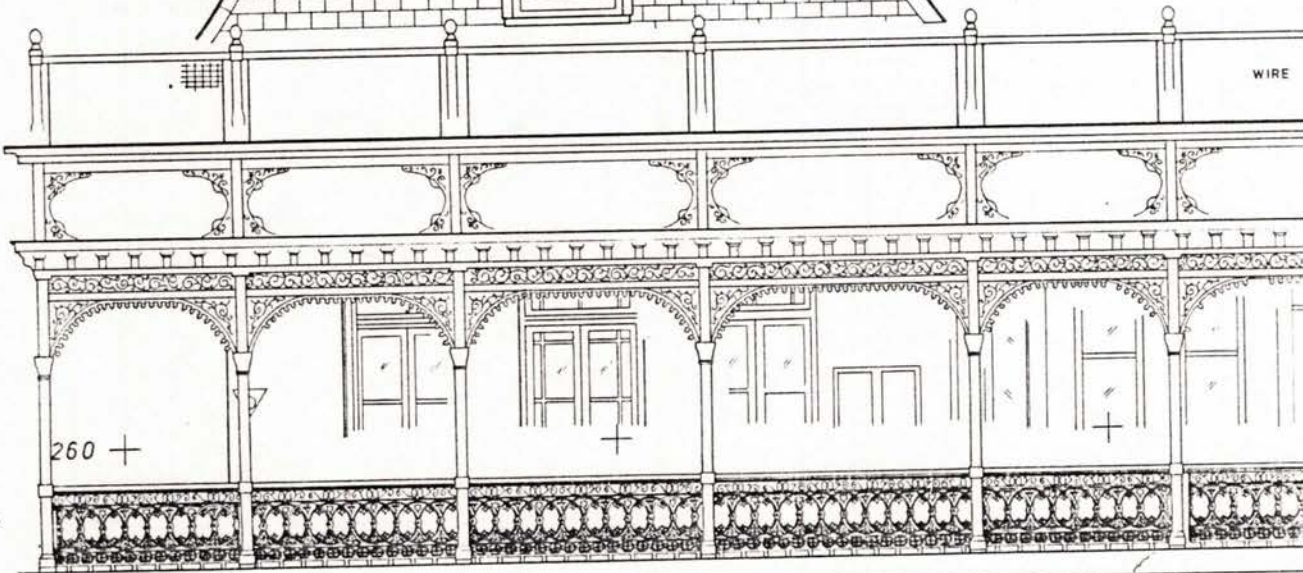
DETAIL

265 +



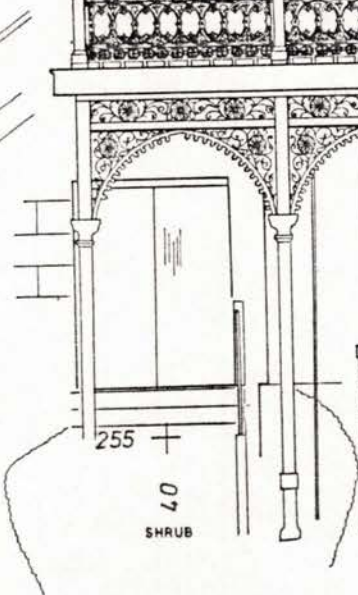
WIRE

260 +

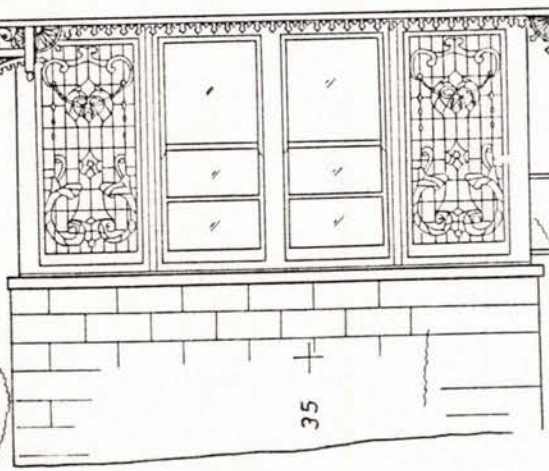


255 +

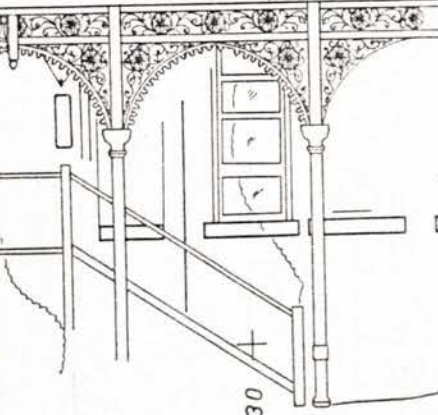
40
SHRUB

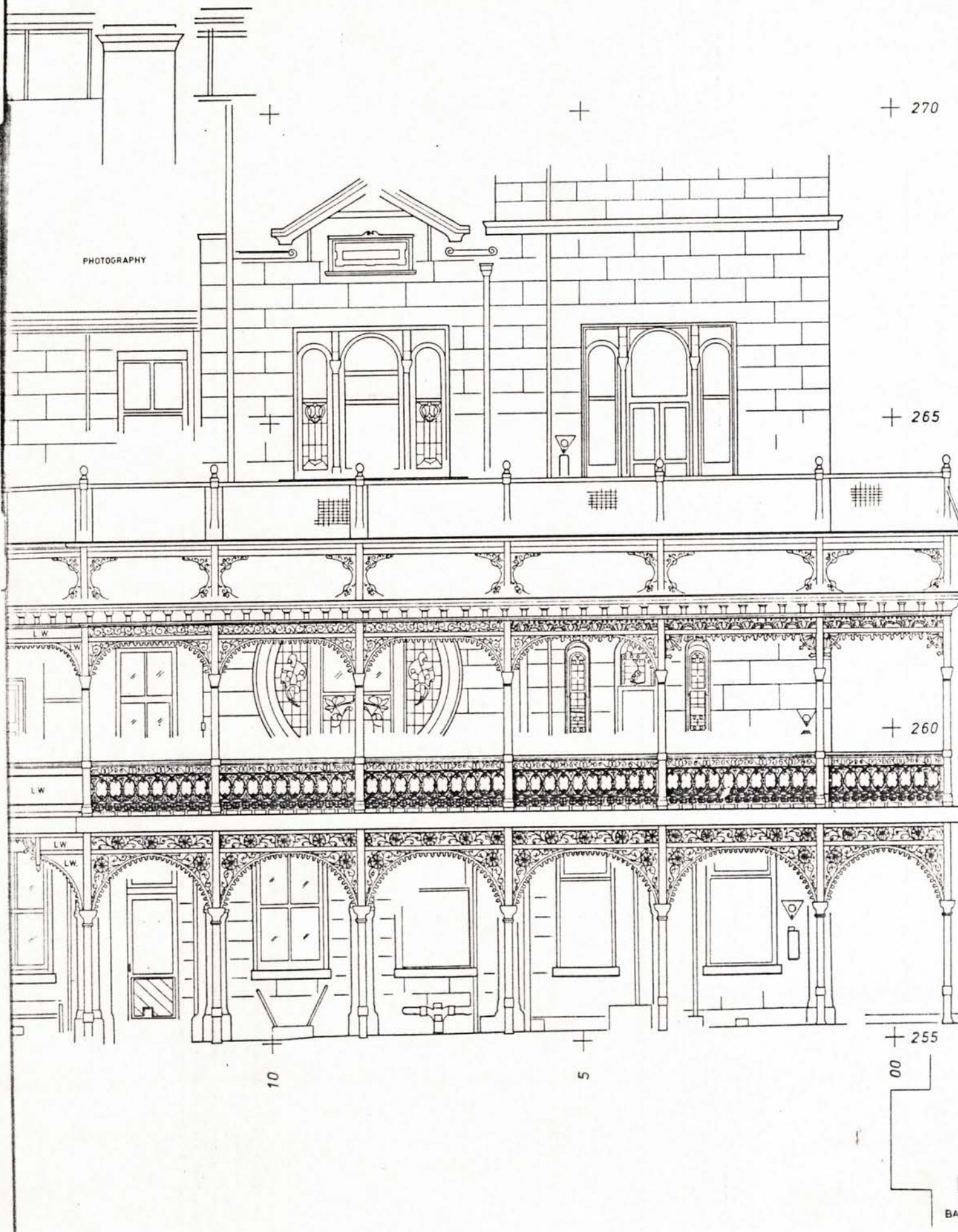


35 +



30 +





PHOTOGRAPHY

+ 270

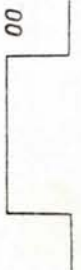
+ 265

+ 260

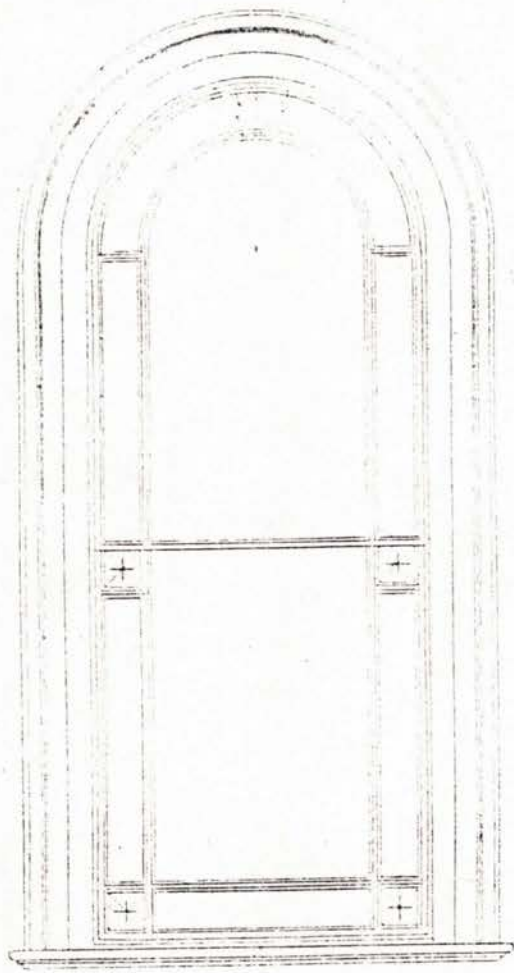
+ 255

10

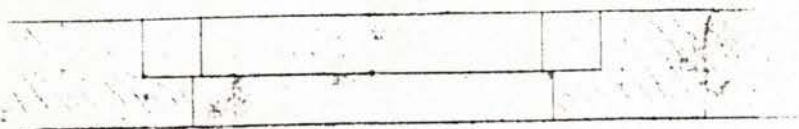
5



BA



Inside Elevation



Ground Plan

Scale one Inch to the foot



The Columns are numbered from 1 to 14, & are as follows

The Brackets are numbered to correspond with the Columns. Thus they (Columns) are numbered from 1 to 14 and from the other side, they will find a corresponding number to correspond with them & the Columns.

The Doors to fit the Brackets are in the Case, in 3 parts; one part is made for the large Brackets, the other part is made for the small Brackets. There are also, in the Case the Lays, to insert into the upper Columns to fit the Horizontal to

the ornament in the Case to fit the Bottom of Brackets 1 & 15 which goes against the wall. (Length the bearing of 4 ft. 6 in. 1/2. The Lays of 1/2 ft. and 1/2 of the smallest piece are on outside.)

1	2	3	4
---	---	---	---

The Cap will not be sent until the improvement of the wall

The Cap will not be sent until the improvement of the wall is made. The Cap will not be sent until the improvement of the wall is made. The Cap will not be sent until the improvement of the wall is made.

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Millonni
April 25th 1870

Geo. Peckham & G. Schenck
Architects
Dundee

Gentlemen

I have sent the whole
of your framework by Geo. & Son
this day. I trust it will reach it safe
I trust. Trusting that you may
receive them all safe. I have the honor
to be

Yours

Wm. W. West
of Dundee

Strings to be of 2 inch clear pine housed for steps and risers (Baltic)

Risers of 1 inch clear pine — Steps of Best Am. pitch pine 1 1/2 inch thick finished

Sections of finish under housing of step

Walusters of 1 3/4 x 1 3/4 - turned - best Am. Cedar plaster on each step

Rail to be 3/2 x 2 1/4 well formed in wreath round well hole, commencing with a scroll of one Revolution in best eased form on Curtail & top, and terminating on the level as shown so worked and ramped & finished with such grace of form as will equal the best efforts in the art. Space of 1/2 inch between on the level not more than 5 inches from end to side. Framing of soffit to be made on the twist, in fine style with narrow panels & give the stair one to each step, and framing to be finished.




Provide centres for arches, fastenings for windows with 2/4 each and 1/2 inch courses, making a complete finish of all parts as shown, except plaster work, which is to form a separate contract. To form in lantern & small sashes for colored glass. To provide some and lantern for lighting when rich specified may be wanting.

Painter To paint windows & doors of coats, and grain down using best red lead, pure linseed oil, and turpentine French polishing as in Carpentery.

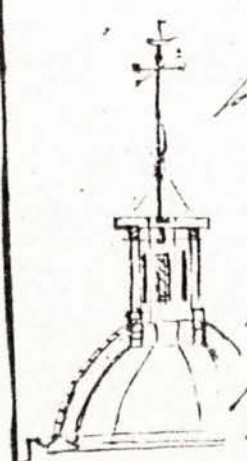
Glass or To glaze all the windows with patent plate & windows with in the best style of settings. To glaze small sashes in lantern with rich colored glass 2 1/2 inches by 6 inches

Plaster work in a separate Specification when the work has progressed to certain point

The bottom of these sashes to have a panel to cover bottom of Lintel sashes
 put in lead glass at back in winter. The sashes to be especially well made
 in cedar, moulded timber tongue, double finished, painted, &c. and frames to
 be of best clear pine, in clean capital workmanship. Steps to be made simple

Doors on either side in basement to be 6-8 x 2-8 x 1 1/2" double moulded
 in proper 2 inch jamb lining, ^{to} ~~to~~ the walls, rebated on both sides, and finish
 with 5 inch architraves on both sides. To lock with ^{the} ~~the~~ ^{repeating} best mortar locks
 and hinges with ^{the} ~~the~~ ^{best} ~~best~~ ^{jointed} ~~jointed~~ ^{and} ~~and~~ ^{true} ~~true~~
 providing carpet sills of best hard wood of pitch pine, ^{to} ~~to~~ ^{the} ~~the~~ ^{floor} ~~floor~~ ^{level} ~~level.
 To provide a check in floor for these sills to be set in when the work is almost
 complete thus  ⁵/₈ inch wide and bolted to ^{both} ~~both~~ ^{sides} ~~sides~~ ^{at} ~~at~~ ^A ~~A~~.~~

As architect was in charge try for windows as the finish is detailed in
 plasterers work



upright thus
 6" x 4" and
 built -

Dome roof

To form dome or Capote roof with octagon
 wall plate of 5 1/2" by 3" in deal ^{scraped} ~~scraped~~ ^{at} ~~at~~ ^{angles} ~~angles, eight deal ribs 6" x 3"
 framed at top to octagon plate for lantern, into which turn the 8 uprights
 of lantern substantially and pin through, framing the top ends to frieze piece
 form in ^{vertical} ~~vertical~~ ^{clear} ~~clear ^{pine} ~~pine~~ as shown on Elevation. The roof of lantern to
 have 8 ribs 4" x 1 1/2" joined into final core, and to cover core with elegant gilt cone
 made of metal, from which is to spring the weather vane, having the four letters
 E. W. N. S on four arms all gilt or bronzed, and bare gilt, of such shape as
 may best suit - ^{to} ~~to~~ ^{the} ~~the~~ ^{weather} ~~weather ^{vane} ~~vane.
 To board over ribs of dome after jack rafters are fixed, 18"~~~~~~~~

To board over ribs of dome after jack rafters are fixed, 18"

It will be required during the erection of turret to keep the house shut out from any dirt or trespass, and to accomplish this to put up a ^{temporary} boarded partition in close trim and groove and stuff across the basement and main levels, at the commencement of the work, up from basement floor to main story ceiling, and to do this, stair to be removed, so much as will give room for said partition, and altered to a new thin metal for access to main story from basement. This accomplished to take on Basement floor

and to begin in a corner, then cut out carefully the required opening from turret to stair through side wall, and so manage this portion of the work as to join or tie the neck walls with side walls substantially.


To throw out or project all parts properly for cement dressings in caps and cornices providing cast iron angle iron 2 inches wide for cornices, 2 to 2 1/2 inches wide,

To lay plates, pipes, &c. as required.

To provide ^{for} iron ties riveted together at all angles, at least three feet high, two tiers at each level, 1 1/2 inch iron, and opposite, joining to be fastened to frames, proper legs, the others to be turned down into masonry joint.

To project window sills for cementing according to section given full size.

The depth of mould beams 4 1/2 inches it will be required that the headers are moulded - not cut, to ensure a firm line next frames, and a close joint to casings.

The iron ribs for arch in neck to be made of 4 x 1/2 iron, elliptical shape, nearly 6 ft diameter  and to run through neck walls and cramp

Excavations

found to be uneven on sloping surface, to be reduced to a level surface by grading or picking, and in steps not shorter than 2 1/2 feet. To excavate the whole diameter of Surt base - shaft when leaving process of earth in the center, but the picking just exterior of it to be under footings only, which are to be 2 ft. 6 inches wide, and diameter of whole cutting to 18 feet 6 inches wide as to give the required room for batter of stone - see location & sections.

Removal of Earth

To remove the earth out of garden to a suitable place outside. P.S. It is presumed that from the appearance of the rocky surface on either side that the "steps" around under garden walk in front of steps, does not average more than 2 feet, and this depth to be taken as the basis of estimate both for digging and masonry, and to make the more or less required in either portion of the work equitable, the contractor to give a schedule price for excavation per cubic yard - and for rubble work laid in 2 1/4 cement per square.

To give a schedule price for digging and Stone Work

Masonry

Footings

To provide the best hard freestone obtainable in the immediate vicinity of the villa in good sized blocks for footings, as well as up to ground level & 2 ft 6 inches thick octagonal shape on plan, laid in 2 and 1 cement, made from best brand of cement and quarry tailing giving through bonds in each 12 inch course ^{alternately} of brick and stone to join in the north part next present house at A.A. prospect, see the octagonal work.

From ground level to commence the center of

Specification

as proposed to be erected

in addition to Fort Langley

Grand

the Residence of

H. H. Russell Esq.

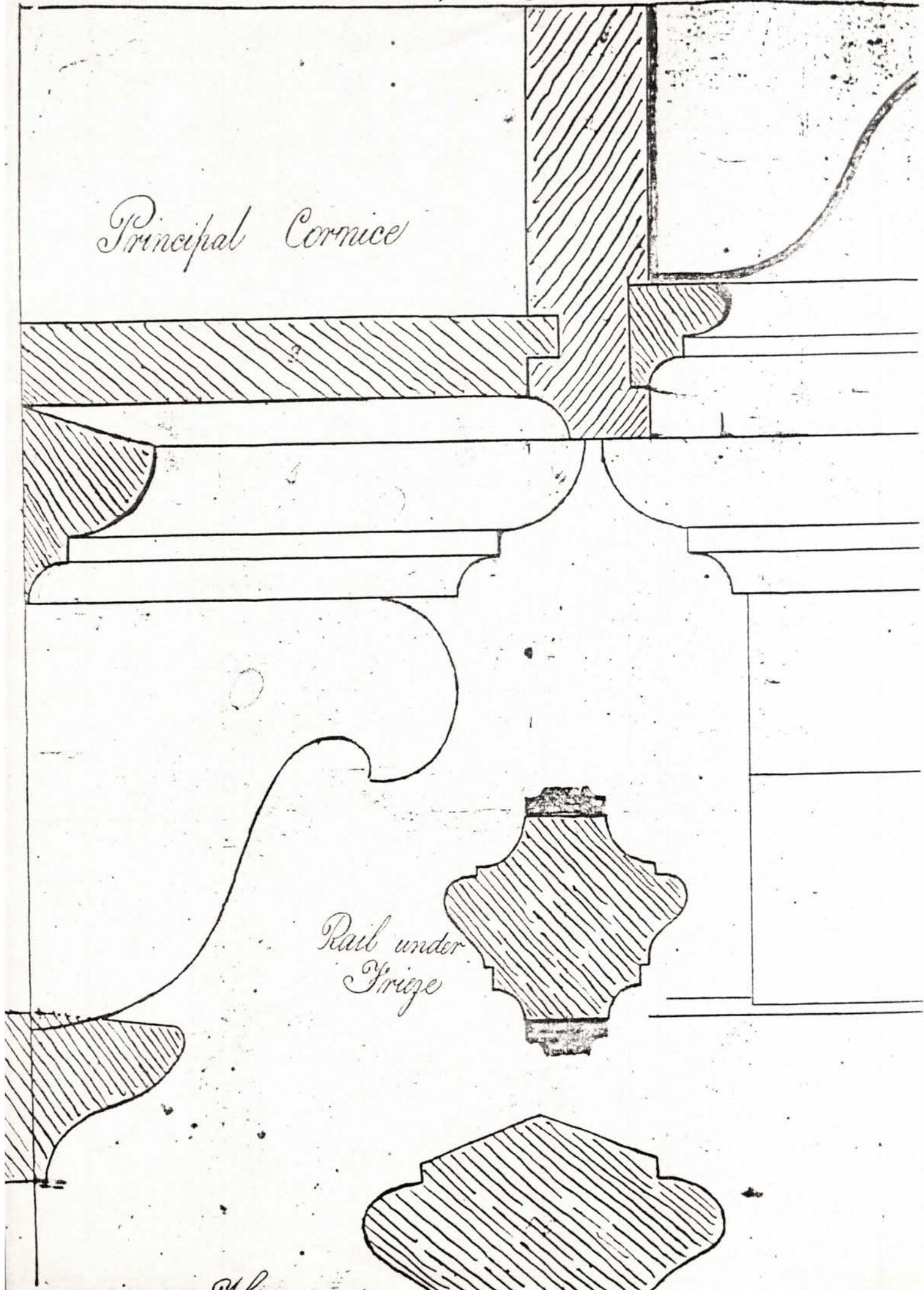
The object of this attention is more known to
fact - at the outset - that the whole work is to be composed of the very best
materials as hereafter detailed, and to be done by the best workmen
in the best manner.

It is to be done in
such a way as to give the least disturbance to the residents of said residence
by having all the materials delivered on the ground before the work is commencing
so as to reduce the actual time of erection to a small part of ordinary practice
which time will be dated from the moment the excavation for foundations commences
and it shall be required that all care will be taken not to injure
shrubs, trees, flowers, &c. in the garden, but to facilitate this the people
will cause a fence on each side of site to be made as a gangway to the
site of proposed turret. The materials it will be seen must be dropped
outside of hole and labor to take them in from there.

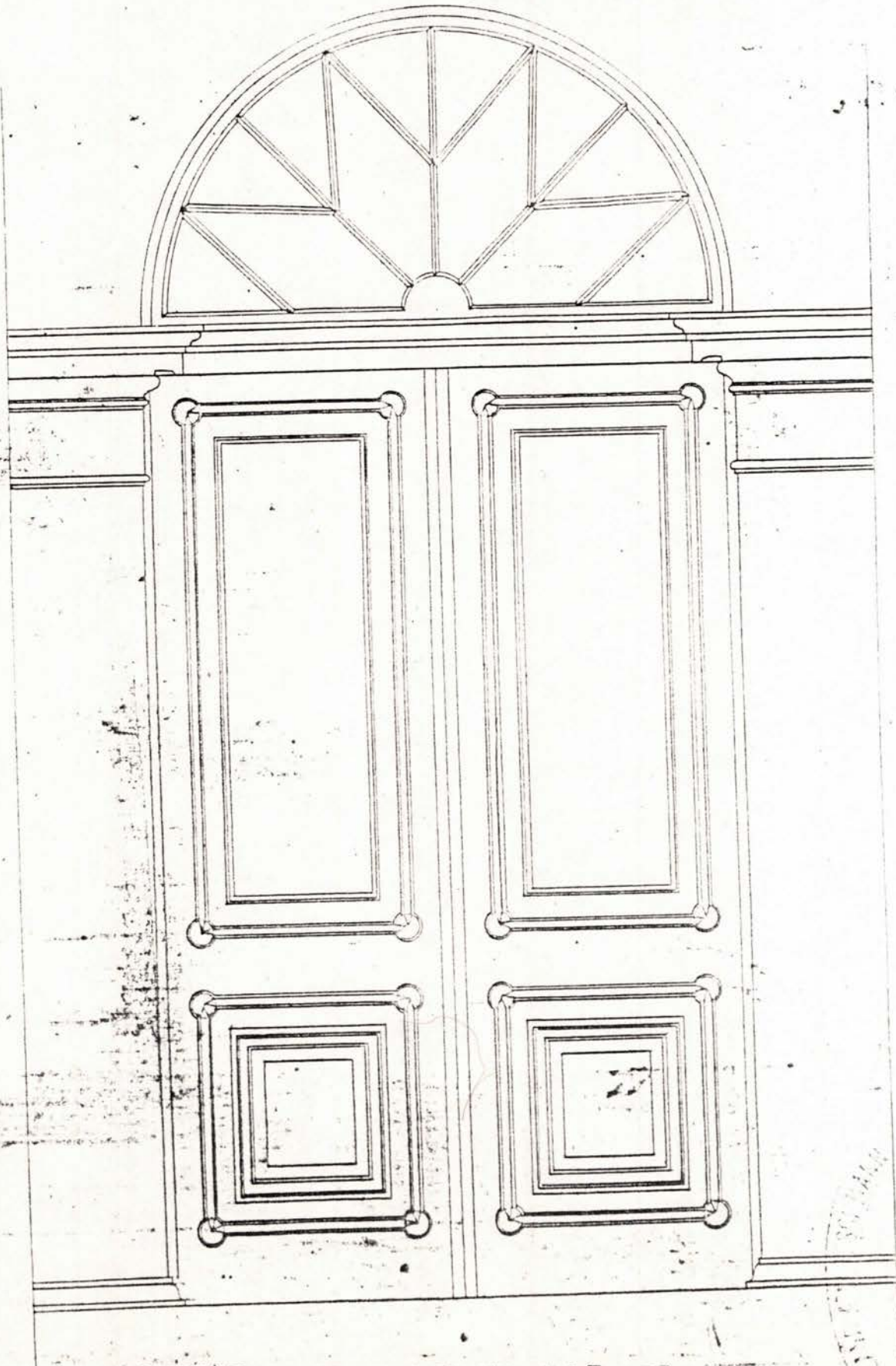
So you see the remaining step to be taken is to
and part of the work directed as per foundations over to the bed rock, and of course

Principal Cornice

Rail under Frieze



ELEVATION OF DOOR



Stile

Stile

Fitted Drawing
of part of Entrance Door

G. Lansell Esq.

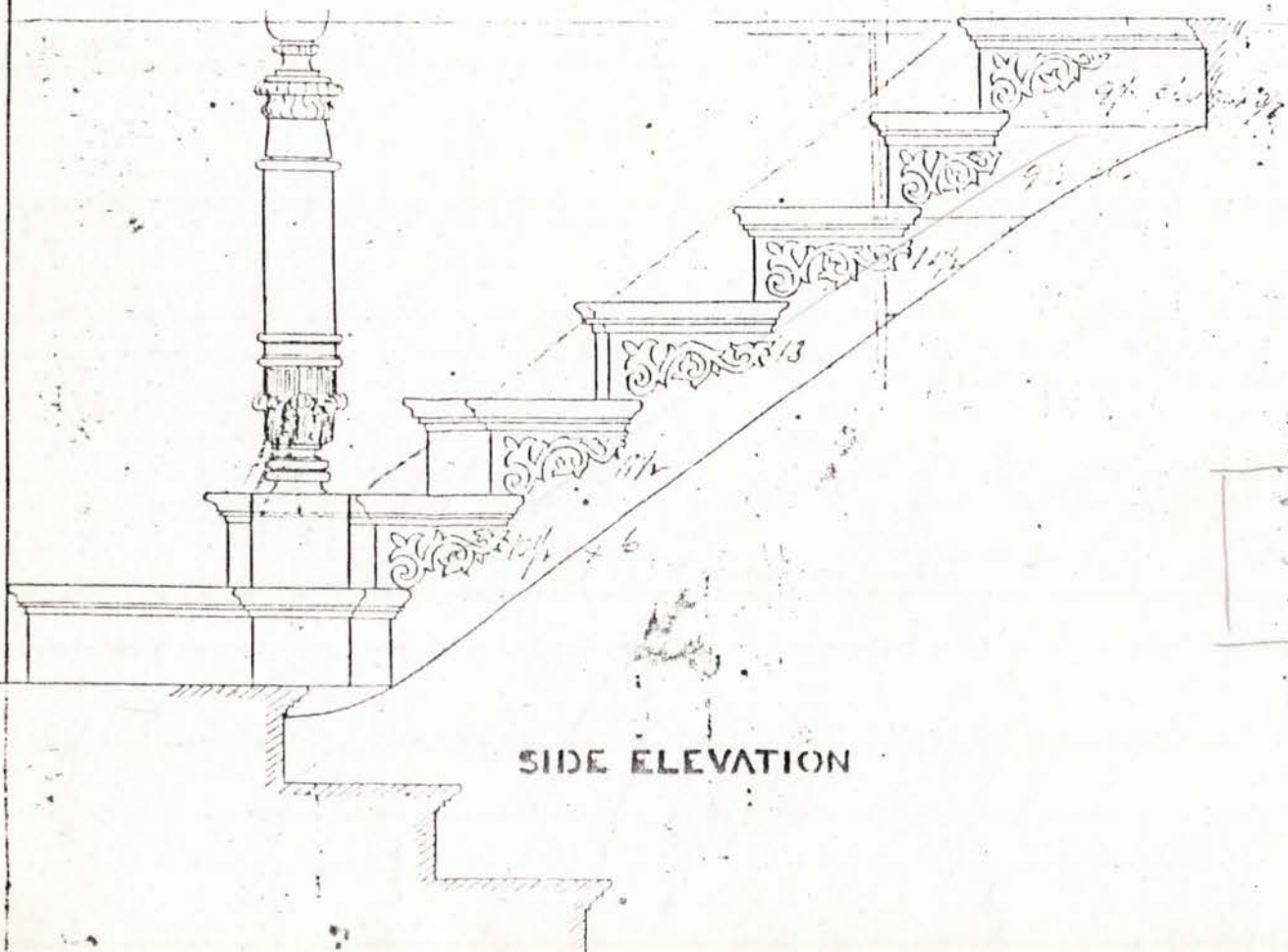


Frame

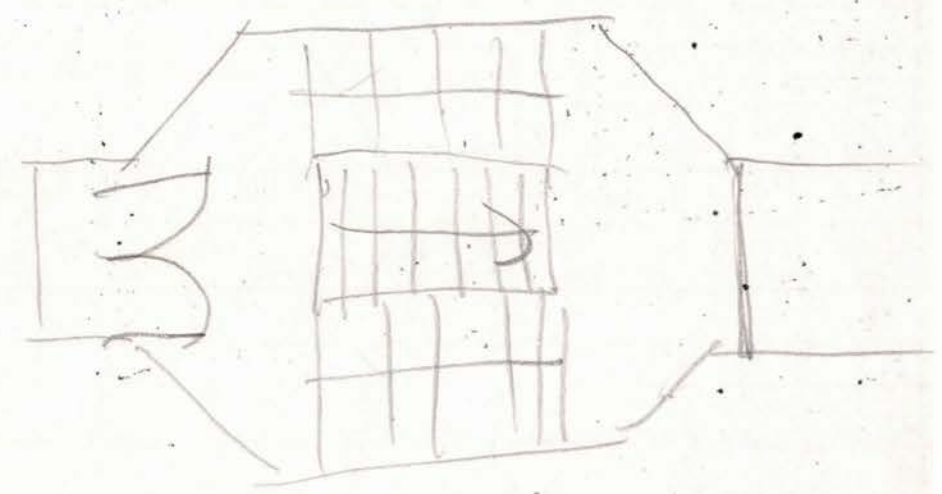
Panel

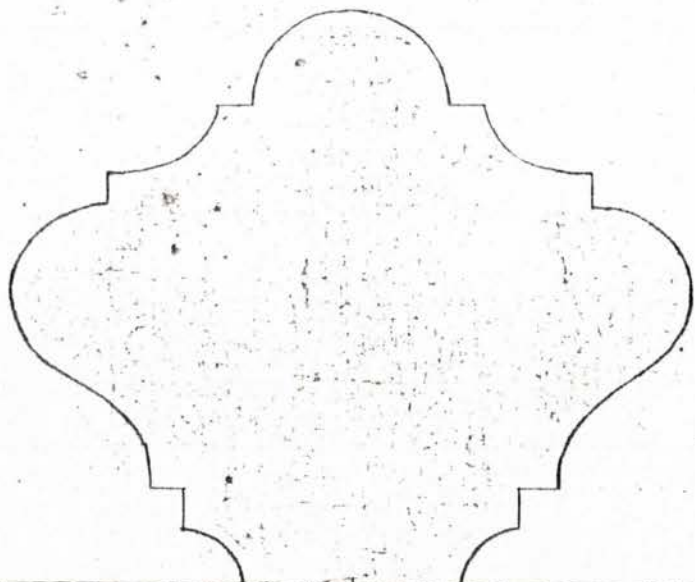
Stile

Frame



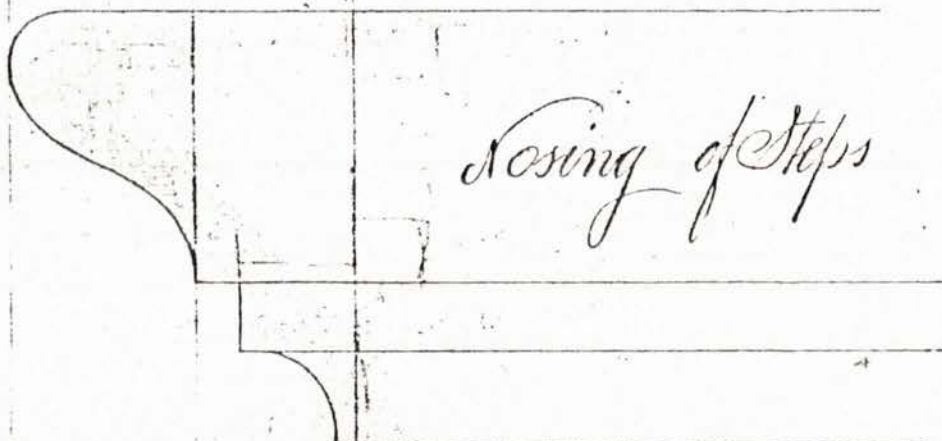
SIDE ELEVATION





Section of Handrail

G. Lansell Esq
Fortuna Villa



Nosing of Steps





A composite Photograph of Fortuna, showing the Mining Works, taken in about 1880